

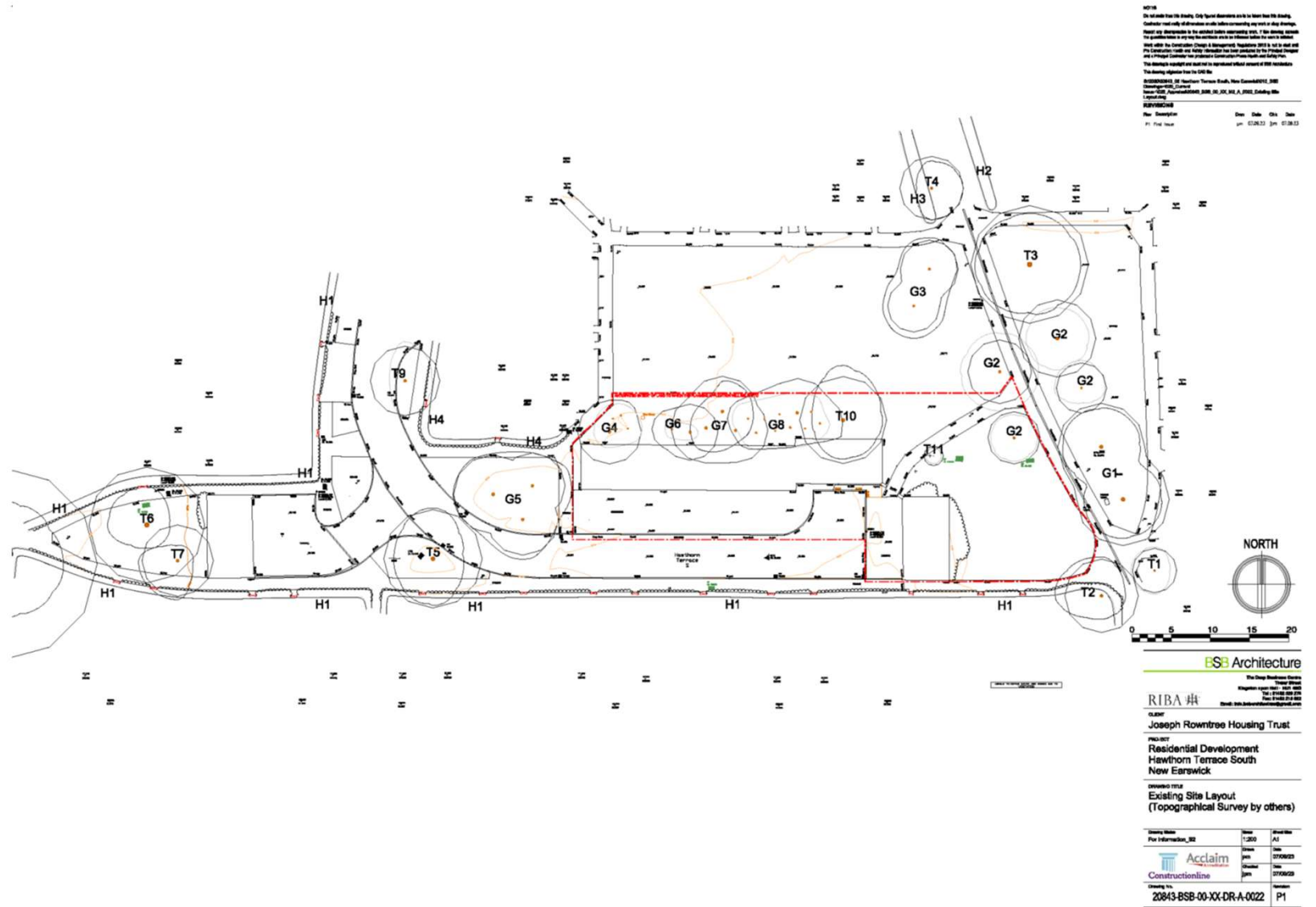


Planning Committee B

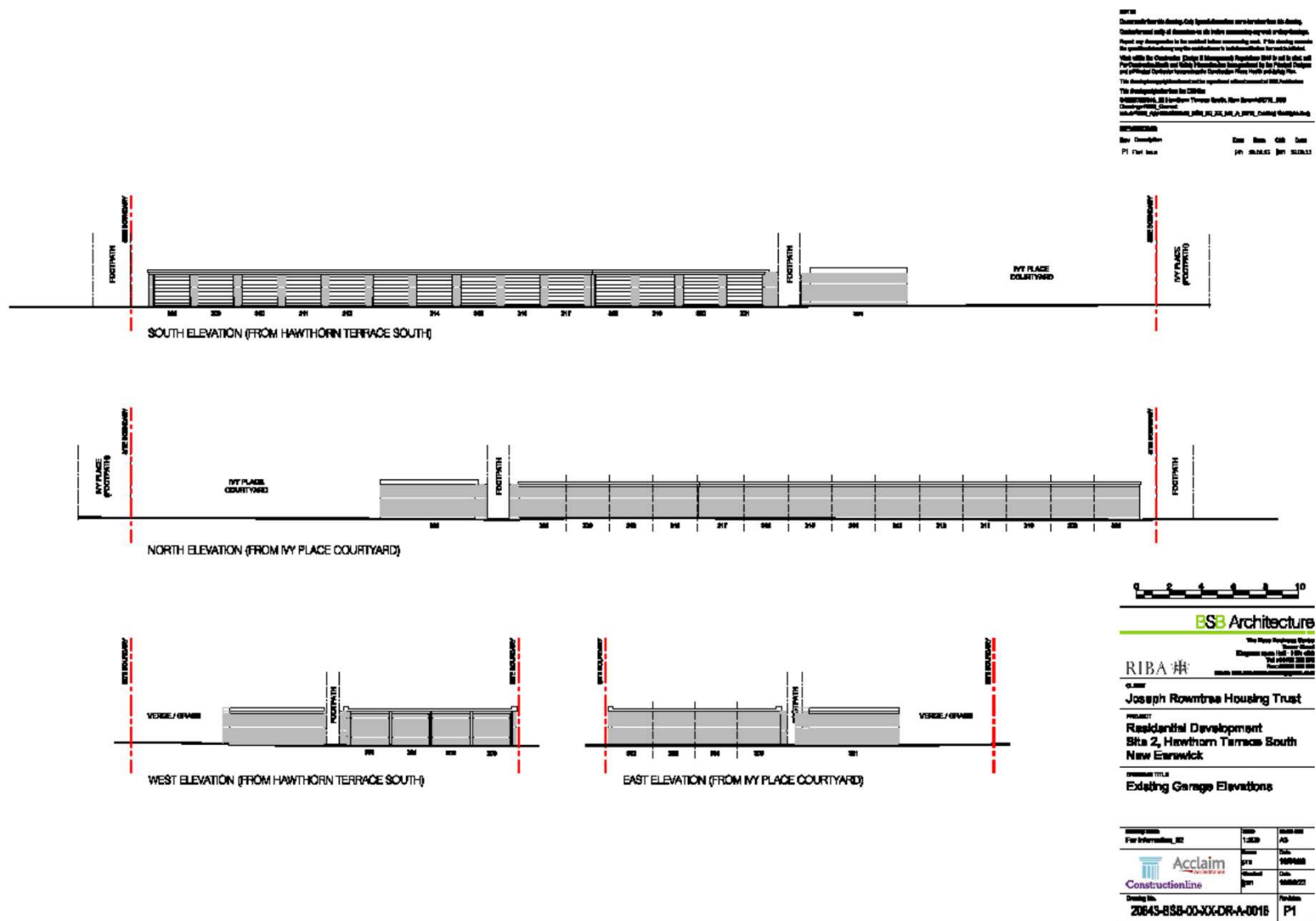
23/01879/FUL

Garages at Hawthorn Terrace South New Earswick

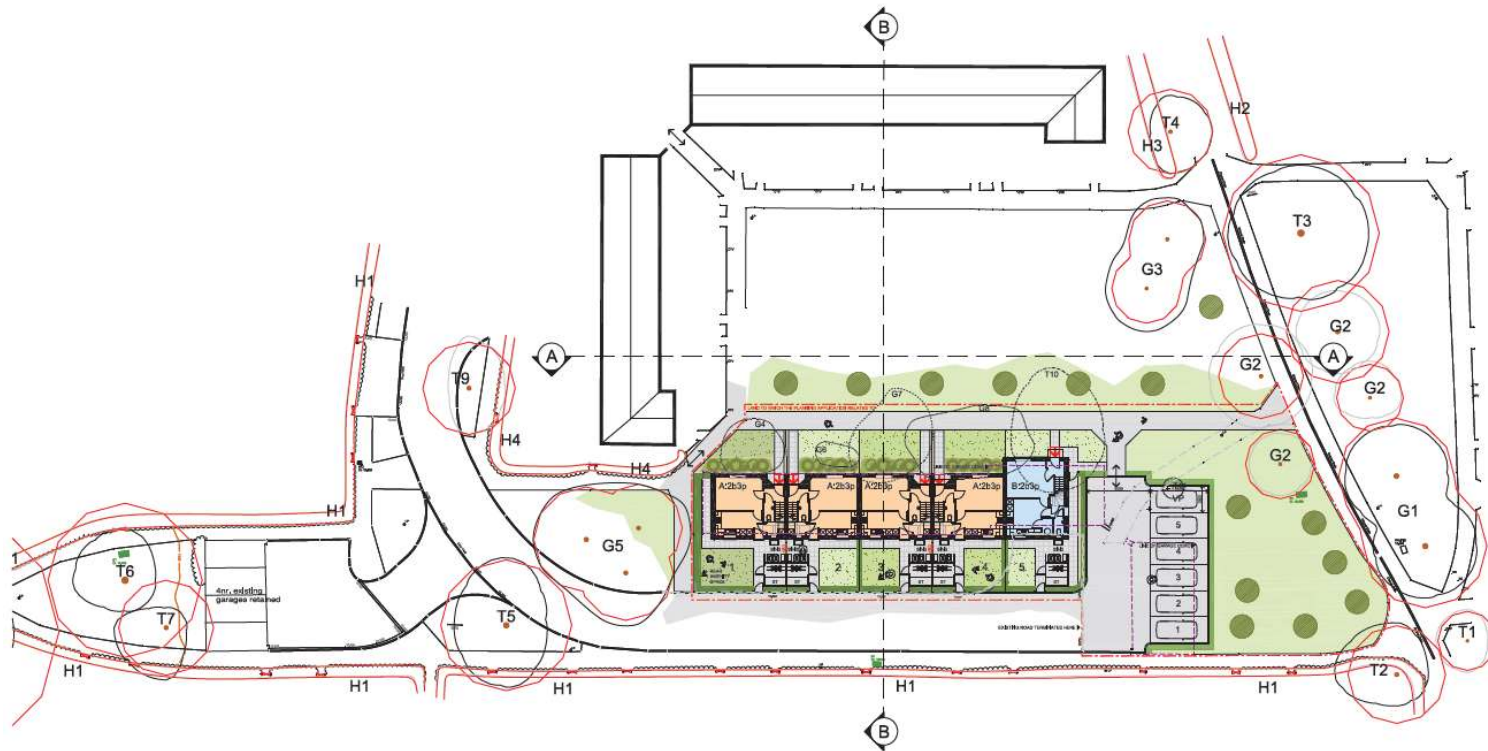
Existing site plan



Existing garage blocks



Proposed site layout



NOTES

Do not scale from this study. Only signed dimensions are to be taken from this drawing.

Character must reflect all dimensions on the affected whenever any work is done.

Record any discrepancies to the architect before commencing work. If the discrepancy exceeds the quarter inch allow any other methods can be determined between the two parties.

Note: While the Construction Code is in Effect November 2018 it is not to start until the Construction Health and Safety Information has been presented by the Principal Designer and the CAD Contractor has produced a Construction Programme Health and Safety Plan.

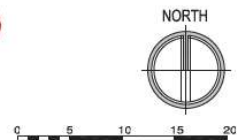
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The drawing is submitted from the CAD File:

C:\CDD\2018\04_04_Powerline Terrace South - New Standard\01_01_000
Drawing=01_01_000_Cadwork.dwg
User=CAD_Architect\2018_04_04_01_01_000_01_Layings.dwg

REVISIONS

Rev	Description	Date	Drawn	Chk	Date
01	Final Issue	07/08/23			07/08/23



BSB Architecture


RIBA 

The Design Business Centre
Tower Street
Kingston upon Hull HU1 1RT
Tel 01482 323 276
Fax 01482 313 932
Email info.subscriptions@riba.org.uk

CLIENT
Joseph Rowntree Housing Trust



PROJECT
Residential Development
Hawthorn Terrace South
New Earswick

Drawings Title
Proposed Site Layout
5nr 2b/3p Homes

Drawing Status For Information_02	Scale 1/200	Sheet Size A1
	Date pm	Date 07/09/23
	Checked pm	Date 07/09/23
Drawing No. 20843-BSB-00-XX-DR-A-0019		Revision P1

PROPOSED SITE LAYOUT
scale 1:200 at A1

SCHEDULE OF ACCOMMODATION:

	A: 2bed 3person house 71.1m ² each (Gross Internal Floor Area)	4nr
	B: 2bed 3person house 78.4m ² each (Gross Internal Floor Area)	1nr
	Total	5nr
	Parking = 5nr (dedicated) 1nr visitor parking bay (VP)	

KEY:

LEVEL ACCESS LANDING - 900mm x 900mm to principal entrance property. Proprietary drainage threshold.


FENCING BETWEEN PROPERTIES TO REAR -
1800mm close boarded privacy screen extending to
cycle and storage structures.

EXISTING TREES -
to be removed to facilitate
construction.

EXISTING TREES •
to be retained and protected during
construction. Root Protection
Zones also shown.

PROPOSED REPLACEMENT TREES -
species and locations to be agreed with
City of York Council

PARKING BAYS =
Surfacing to be agreed with
City of York Council.




HEDGING =
1800mm high to rear of properties.

HEDGING =
1500mm high around parking area

Turf -
Turfing to garden areas. Refer to any site remediation requirements. Gardens to be reseeded and stone picked prior to turfing. Provide mowing strip (300mm) to turfed areas adjacent walls & fences.

PLANTING AREA -
to front gardens.

PCC PAVING FLAGS -
All main access paths to be 900mm wide.
Paths around perimeter of dwellings to be
900mm wide. Cross fall max 1:40.

	pm	07/09/23
	Chemist pm	07/09/23

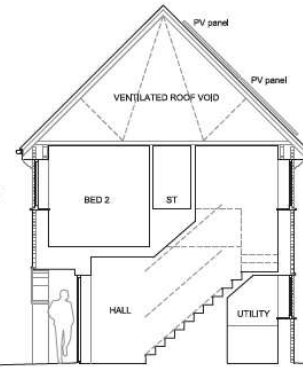
Proposed house type A



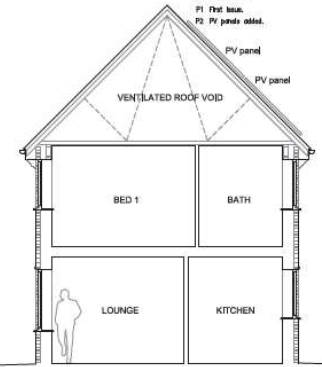
FIRST FLOOR LAYOUT
HOUSE TYPE A
2 BED / 3 PERSON HOUSE
First Floor Area = 36.5m²



FRONT ELEVATION
HOUSE TYPE A
2 BED / 3 PERSON HOUSE



TYPICAL SECTION
HOUSE TYPE A
2 BED / 3 PERSON HOUSE



TYPICAL SECTION
HOUSE TYPE A
2 BED / 3 PERSON HOUSE



GROUND FLOOR LAYOUT
HOUSE TYPE A
2 BED / 3 PERSON HOUSE
Ground Floor Area = 34.6m²
Total Gross Internal Floor Area = 71.1m²



REAR ELEVATION
HOUSE TYPE A
2 BED / 3 PERSON HOUSE



GABLE ELEVATION
HOUSE TYPE A with B (beyond)
2 BED / 3 PERSON HOUSE

NOTES
Do not scale from this drawing. Only figure dimensions are to be taken from this drawing.
Contractor must verify all dimensions on site before commencing work. If this drawing exceeds
the specified limits in any way the contractor is to be informed before the work is begun.
Work shall be in accordance with the Construction (Design & Management) Regulations 2015 to be read in full.
The Construction Health and Safety Information has been produced by the Principal Designer
and a Risk Assessment has been produced by the Principal Designer.
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This drawing originates from the CAD file:
S:\2024\2024\02_Hawthorn Terrace South, New Earswick\010_BSB
Drawing\0202_Current Issues\0202_Approval\0202041_BSB_00_XX_DR_A_0020
P2_0021_P2_House TypeA.dwg

REVISED	Rev	Description	Drawn	Date	CHK	Date
	P1	First Issue	jpm	07.09.23	jpm	07.09.23
	P2	PV panels added	jpm	07.01.25	jpm	07.01.25



BSB Architecture
The Deep Business Centre
Kington upon Hall, HU17 4BC
Tel: 01482 239 576
Fax: 01482 213 803
Email: info@bsbarchitecture.co.uk

CLIENT
Joseph Rowntree Housing Trust
PROJECT
Residential Development
Hawthorn Terrace South
New Earswick
DRAWING TITLE
House Type A 2b/3p
Plans, Sections & Elevations

Drawing Status For Information_S2	Scale 1:100	Sheet Size A3
Client pjm	Date 07/09/23	
Checked jpm	Date 07/09/23	
Drawing No. 20843-BSB-00-XX-DR-A-0020	Revision P2	

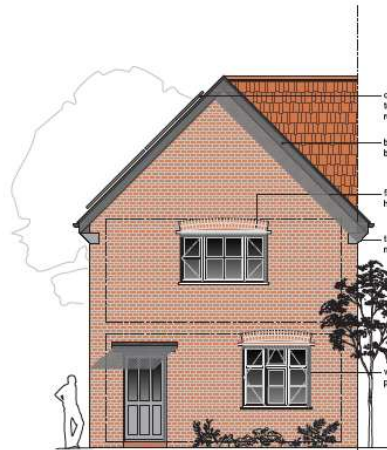
Proposed house
type B



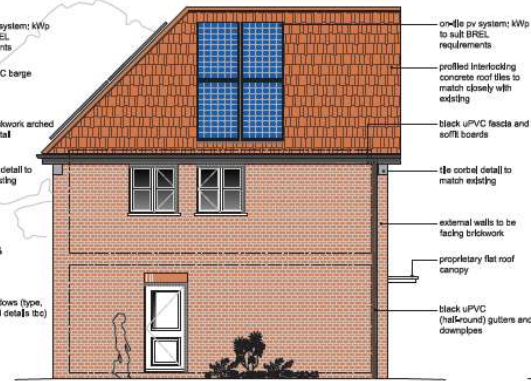
FIRST FLOOR LAYOUT
HOUSE TYPE B
2 BED / 3 PERSON HOUSE
First Floor Area = 39.2m²



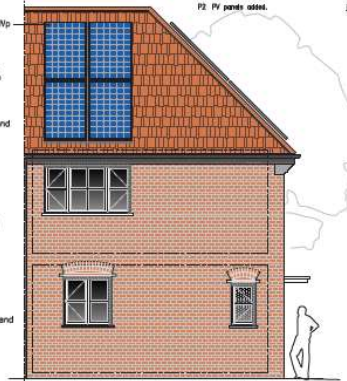
GROUND FLOOR LAYOUT
HOUSE TYPE B
2 BED / 3 PERSON HOUSE
Ground Floor Area = 39,2m²
Total Gross Internal Floor Area = 76,4m²



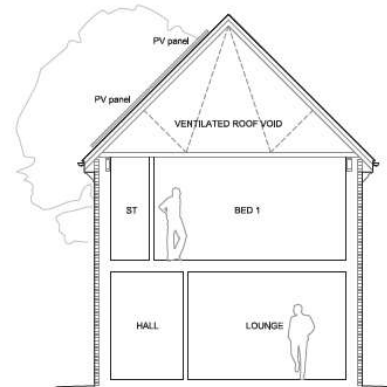
FRONT ELEVATION
HOUSE TYPE B
2 BED / 3 PERSON HOUSE



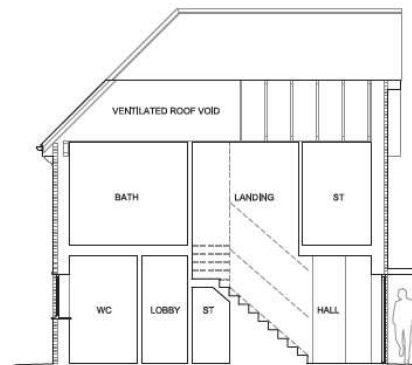
TYPICAL SIDE ELEVATION
HOUSE TYPE B
2 BED / 3 PERSON HOUSE



TYPICAL REAR ELEVATION
HOUSE TYPE B
2 BED / 3 PERSON HOUSE



TYPICAL SECTION
HOUSE TYPE B
2 BED / 3 PERSON HOUSE



TYPICAL SECTION
HOUSE TYPE B
2 BED / 3 PERSON HOUSE

NOTES

Do not scale from this drawing. Only project dimensions are to be taken from this drawing.

Contractor must verify all dimensions on site before commencing any work or shop drawings.

Accept any discrepancies to the architect before to commencing work. If this drawing exceeds the quantities listed in any way the architect is to be informed before the work is started.

Work with the Constructor (Director & Manager) Regulations 2015 to not start all the Construction Health and Safety Information has been produced by the Principal Designer and the Principal Contractor has produced a Construction Phase which and Safety Plan.

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This drawing originates from the CAD by:

8/2/2025 09:20:48, 021 Heyworth Terrace South, New Earsfield 0115 8558

Drawings: C:\Users\Current User\Documents\2024\4_8558_00_X01_X02_A_0020

25_0021 25_0020

Rev	Description	Own	Date	Chg	Date
P1	First issue.	pm	07.08.23	pm	07.08.23
P2	PV panels added.	pm	07.01.25	jth	07.01.25



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RIBA

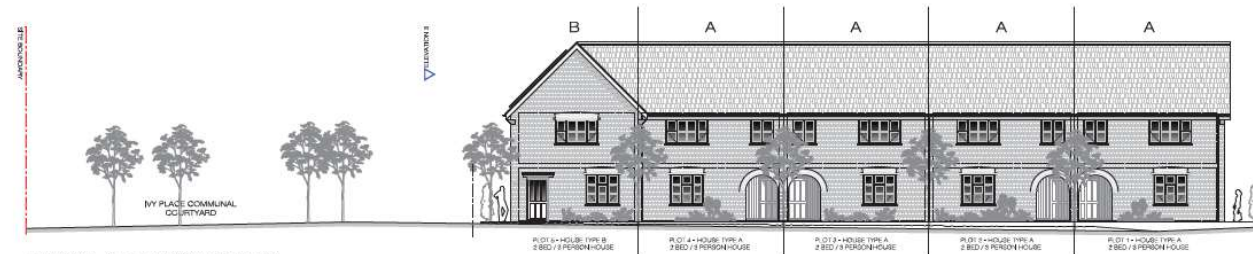
Client
Joseph Rowntree Housing Trust

PROJECT
Residential Development
Hawthorn Terrace South
New Earswick

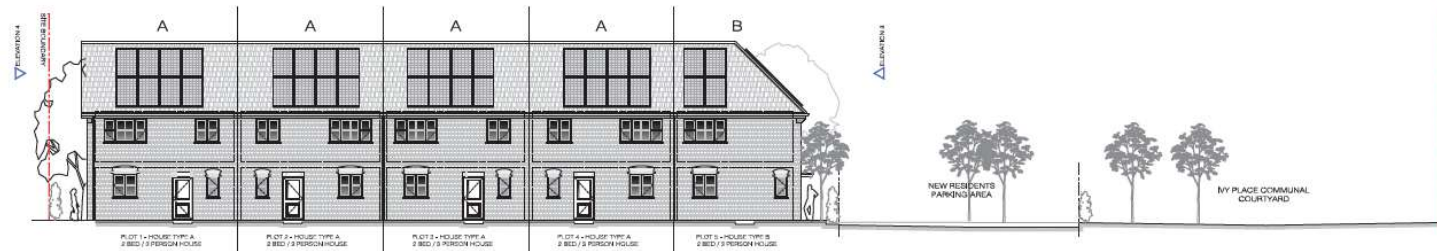
DRAWING TITLE
House Type B 2b/3p
Plans, Sections & Elevations

Drawing Title For Information_S2	Scale 1:100	Sheet Size A3
	Drawn pm	Date 07/05/23
	Checked jpm	Date 07/05/23
Drawing No. 20843-BSB-00-XX-DR-A-0021		Revision P2

Proposed terrace elevations



ELEVATION 1 - SITE ELEVATION (A-A) FROM IVY PLACE COMMUNAL COURTYARD



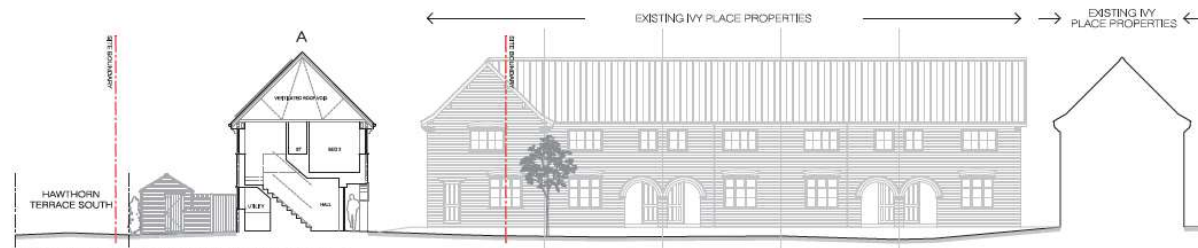
ELEVATION 2 - ELEVATION FROM HAWTHORN
TERRACE SOUTH



ELEVATION 3 - EAST ELEVATION



ELEVATION 4 - WEST ELEVATION



SITE SECTION (B-B) TOWARDS EXISTING IVY PLACE PLOTS 1 - 5

[illegible]

BSB Architecture


The Deep Business Centre
Tower Street
Kingston upon Thames TW1 4DG
Tel: 01883 329 276
Fax: 01883 213 402
info.jacobson@btinternet.com

RIBA 

CLIENT
Joseph Rowntree Housing Trust

PROJECT
Residential Development
Hawthorn Terrace South,
New Earswick

DRAWING TITLE
Proposed Elevations

Drawing Title For Information Set	Scale 1/100	Sheet Size A1
	Drawn jpm	Date 17/06/23
	Checked jpm	Date 17/06/23
Drawing No. 20843-BSB-00-XX-DR-0017	Revision P2	

